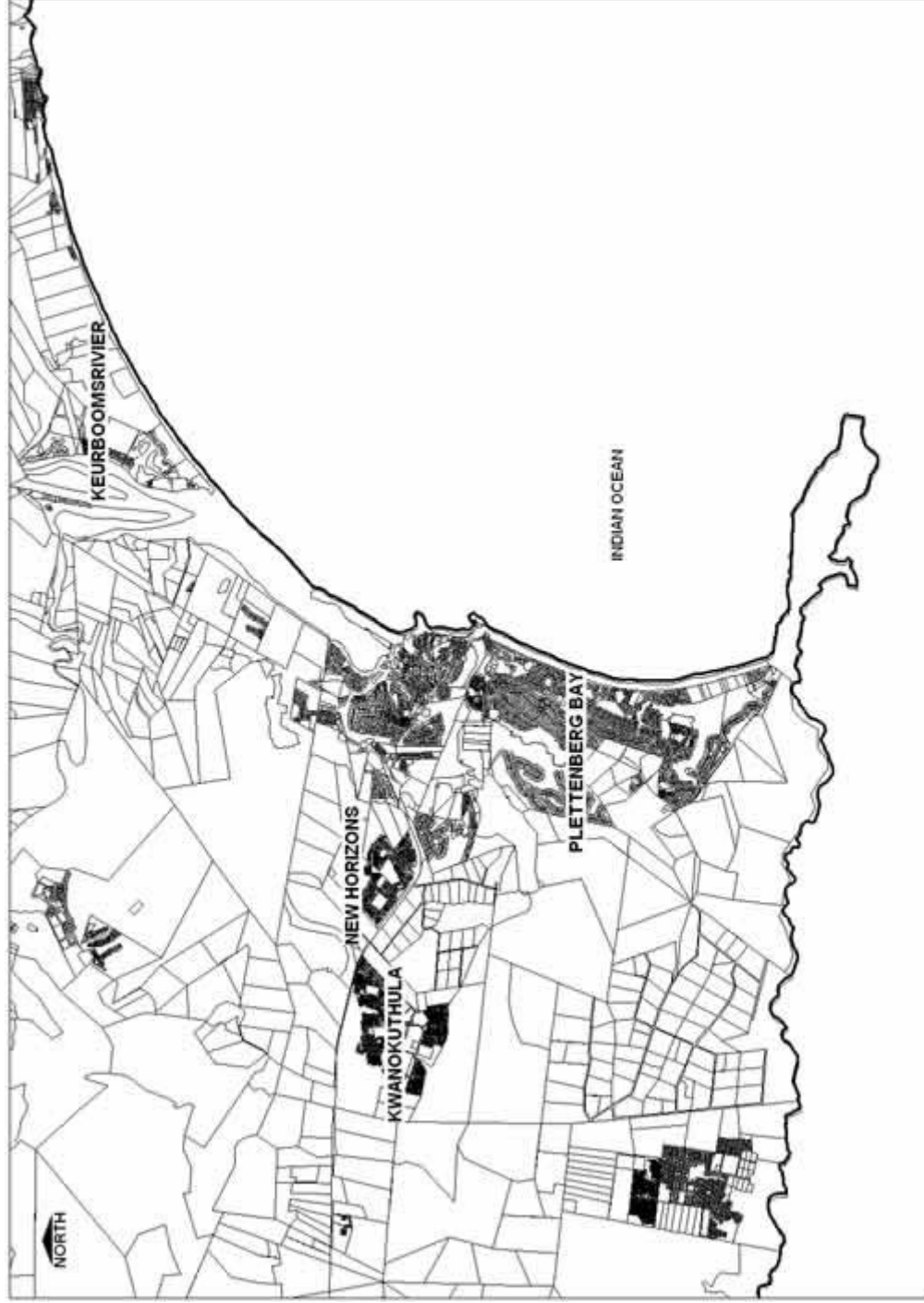


# Pilot Projects

## SUSTAINABLE HUMAN SETTLEMENT STRATEGY SEMINAR March 2006

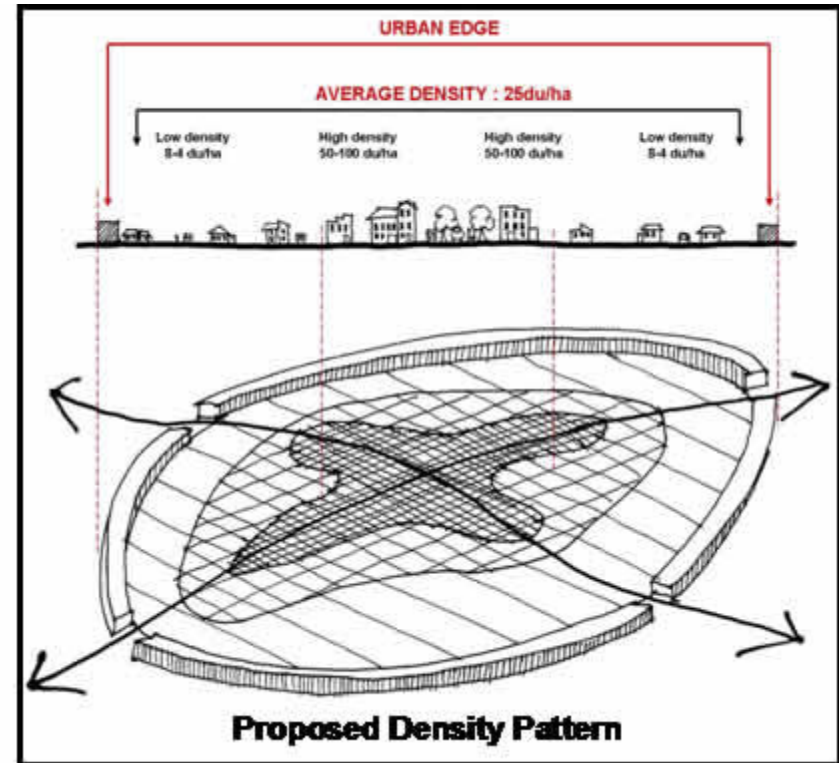
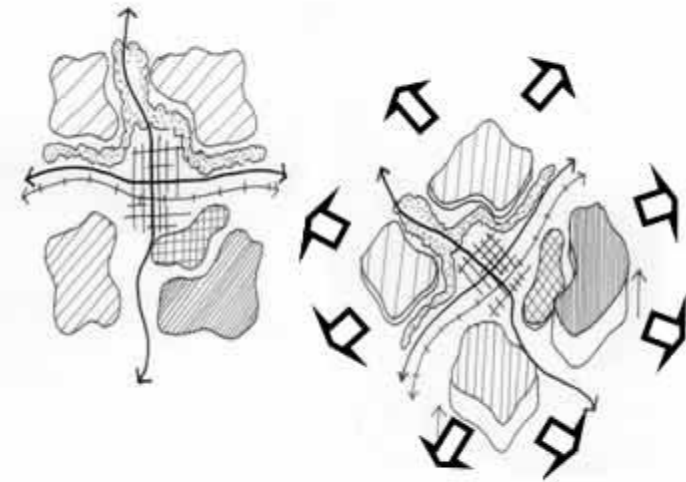


# URBAN RESTRUCTURING OF PLETTENBERG BAY



**BEYOND THE BRICK**  
FROM INSPIRATION TO IMPLEMENTATION

# CHANGING THE PLANNING PARADIGM 2



# PROJECT OVERVIEW

- Plettenberg Bay's current CBD area serves a mainly white population, situated along the coast, 60% of which is only present for 3/4 weeks pa
- Main population (approx 30,000) resides in the black townships of Kwanokuthula and New Horizons just beyond the outskirts of the CBD along the N2 national road
- The two townships are bordered by privately owned smallholdings and upmarket townhouse developments
- An informal settlement of approximately 1300 shacks exists close to the industrial area and residents have resisted repeated attempts to relocate to Kwanokuthula
- The N2 serves as a hard barrier to social and economic integration between the racially segregated communities
- Property prices in the greater Plettenberg area are such that even ordinary professionals cannot afford accommodation



# PROJECT OVERVIEW

The Bitou Municipality has embarked on a spatial development framework that seeks to fundamentally alter the structure of the town by:

- Stimulating the development of a commercial, retail and residential node at the most densely populated area
- Locating government services closer to the majority by moving municipal and other government offices & services
- Downgrading the N2 to a main activity corridor and implementing a new bypass with SANRAL
- Promoting integration and densification along the future activity corridor through the provision of gap housing and commercial activity
- Upgrading the Qolweni/Bossiesgif informal settlement
- Introducing a condition that all future housing developments include 20% affordable housing units
- Bitou Municipality has limited land holdings & will undertake a land swap with industrial landowners

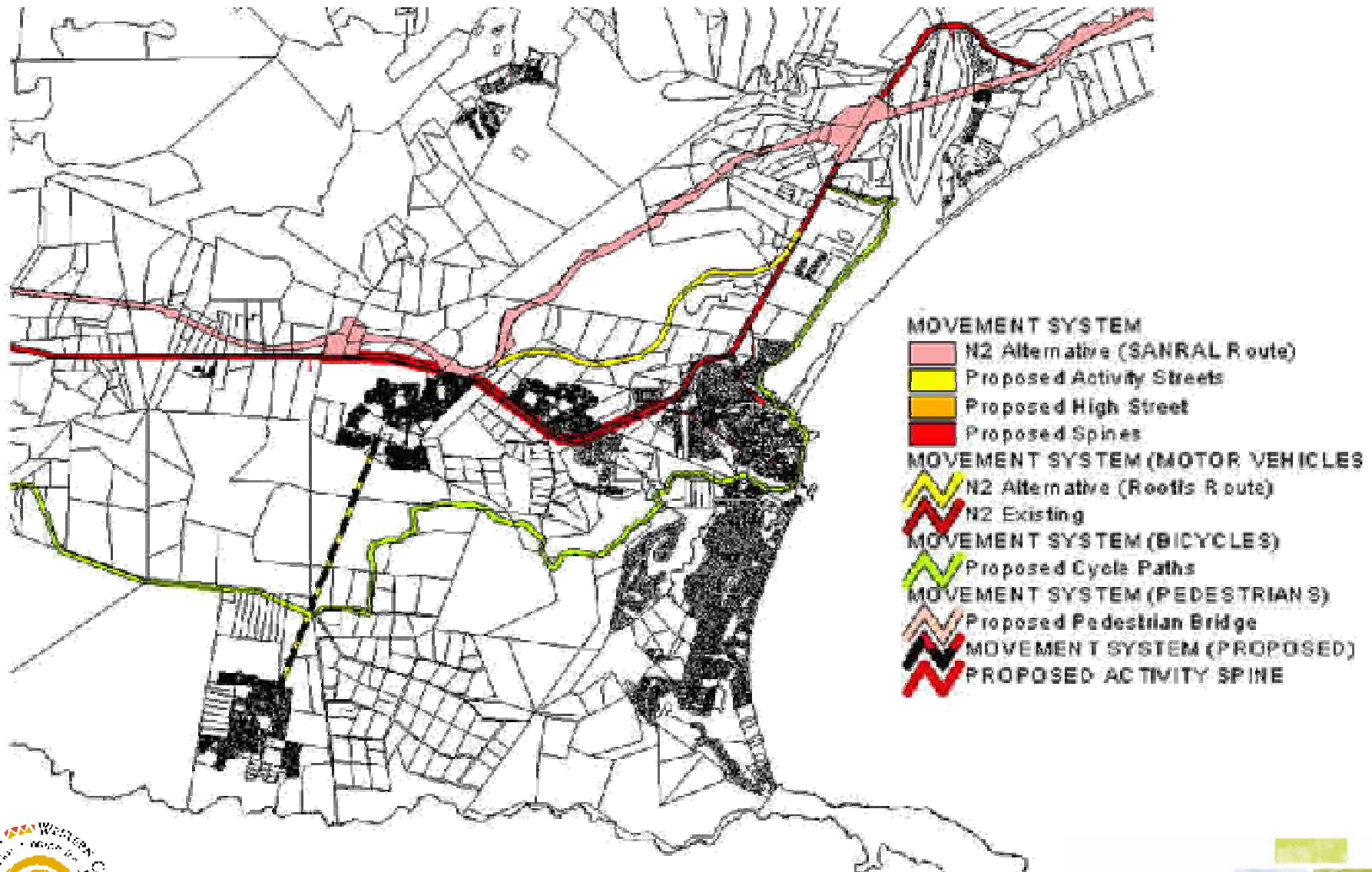


# ALIGNMENT WITH BNG

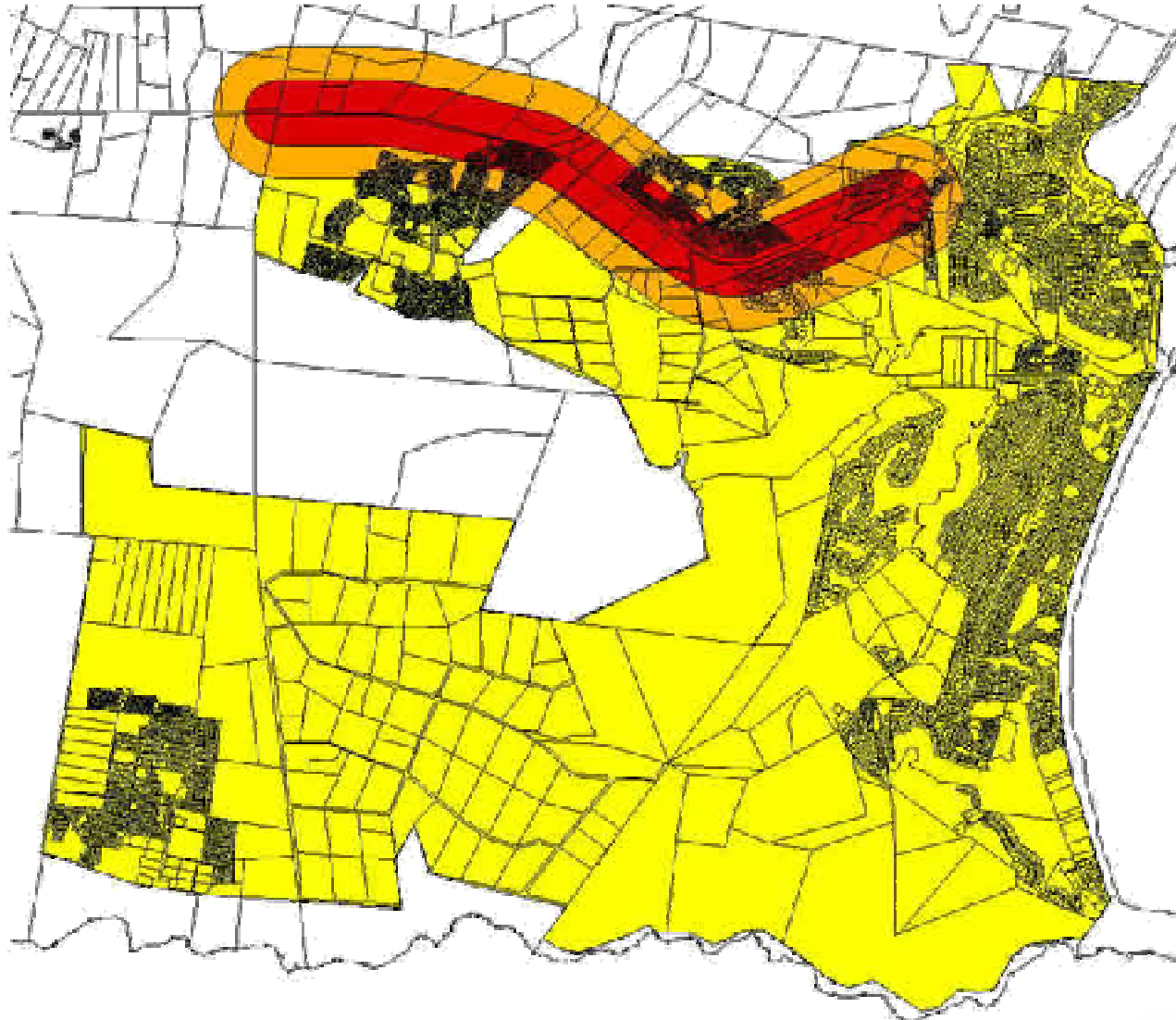
- Government engaged in a macro level intervention that fundamentally restructures the urban social and economic environment
- Funding for the restructuring will be drawn from a range of sources including:
  - Sale of current municipal properties to finance the new government precinct
  - Housing subsidies for Qolweni upgrade
  - SANRAL funds for the N2 bypass
  - Private sector funding for retail & commercial developments with cross-subsidisation for gap housing
- Relocation of the CBD will enhance property values in the existing townships
- Integration and densification along the activity corridor will create adequate thresholds to support economic activities and public transport
- Upgrading the Qolweni informal settlement will enhance quality of life of existing residents
- Creative solutions being implemented in order to access well-located land



# RECONFIGURATION OF TRANSPORT ROUTES



# DENSIFICATION ALONG THE ACTIVITY CORRIDOR



**PROPOSED DENSIFICATION AND DENSIFICATION ZONES**

- Density Zone 0 (Inside Urban Edges - Maintain existing densities)
- Density Zone 1 (Outside Urban Edges) Density up to 25 dw/ha
- Density Zone 2 (Inside Development Corridor up to 200 m from activity spine) Density up to 40 dw/ha
- Density Zone 3 (Inside Development Corridor up to 200 m from Activity Spine) Density up to 500 dw/ha
- Density Zone 4 (Outside Urban Edges) Density not more than 2 dw/ha except for Rural Development Areas - Refer to Spatial Guidelines



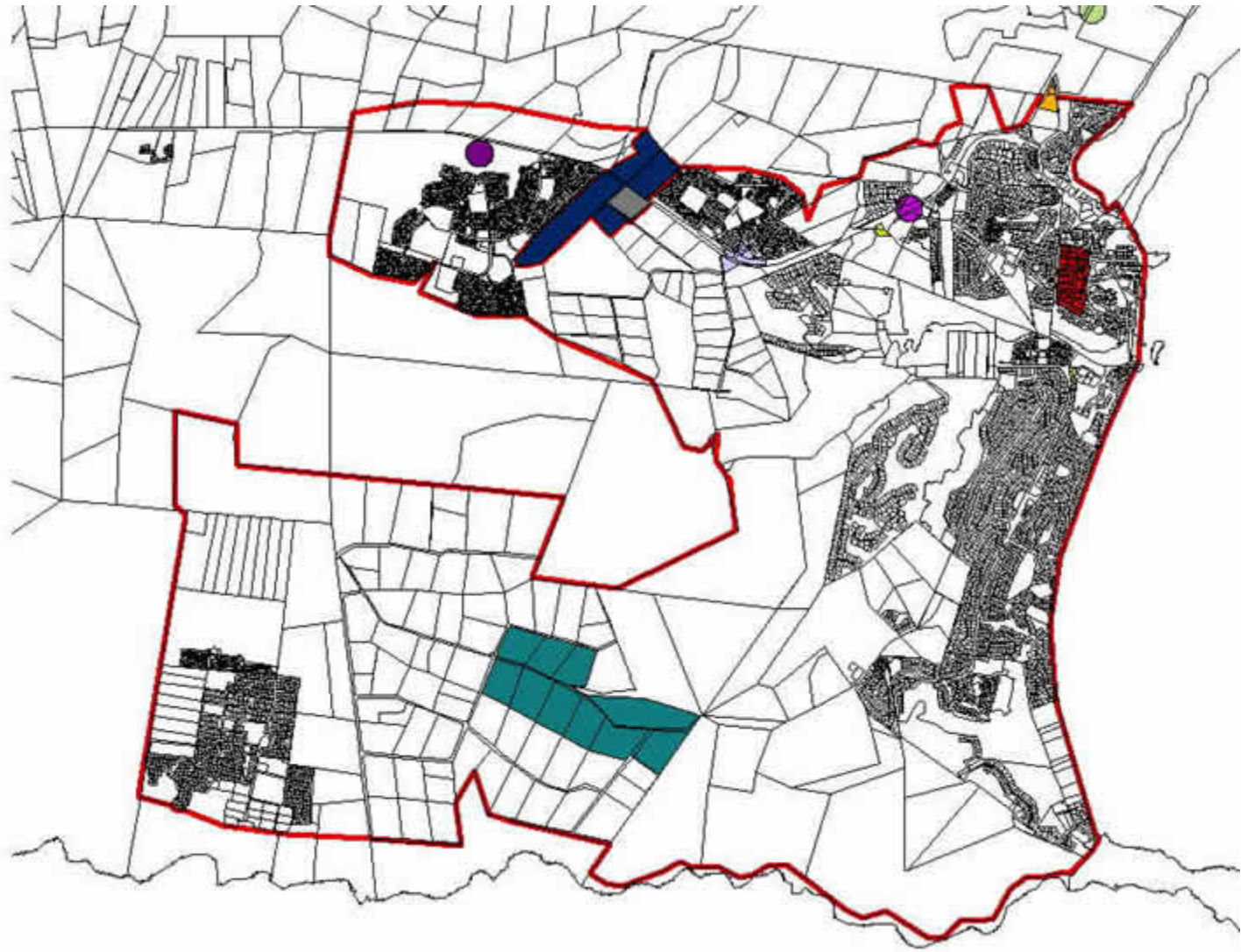
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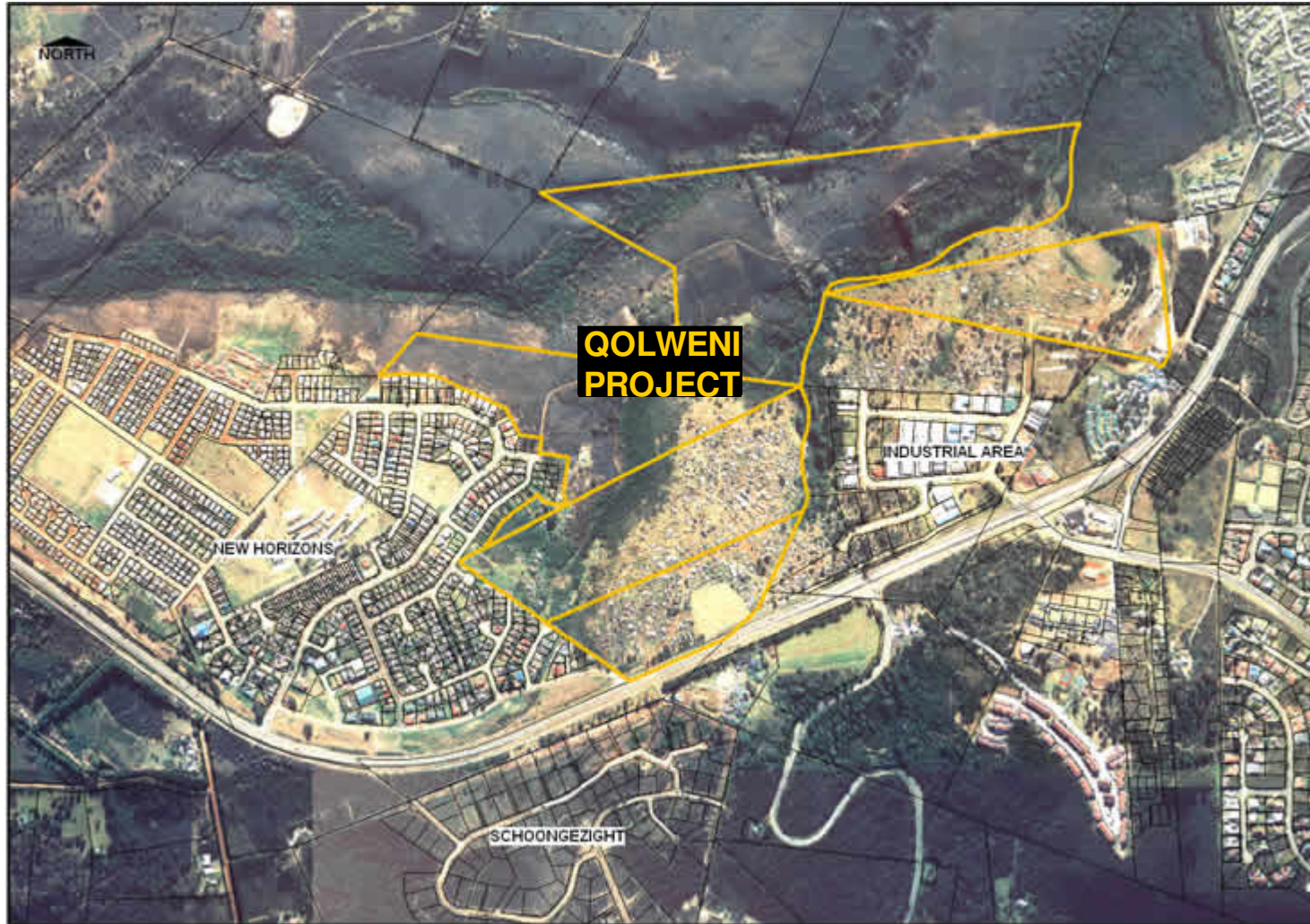
**BEYOND THE BRICK**  
FROM INSPIRATION TO IMPLEMENTATION



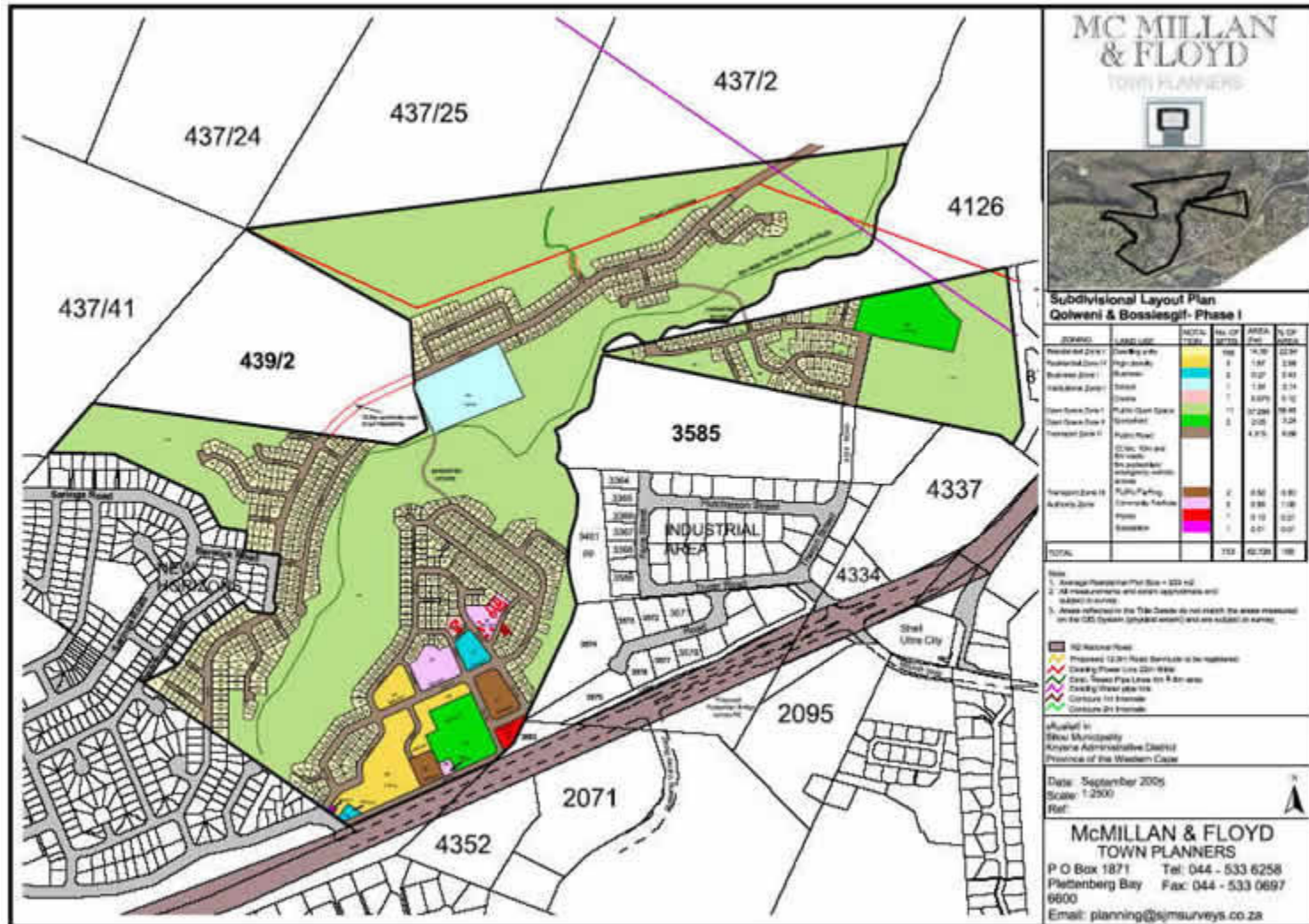
# ESTABLISHMENT OF A GOVERNMENT PRECINCT



# UPGRADING OF INFORMAL SETTLEMENTS



# UPGRADING OF INFORMAL SETTLEMENTS



# CHALLENGES

- On-going and aggressive gentrification
- Buy-in of all tiers of government to establish the new government precinct
- Confirmation of funding for the N2 bypass from SANRAL and acquiring the desired density along the proposed activity corridor
- Possible risk of entrenching segregation by formation of second 'artificial' CBD

